

2 March 2018

Ms Leanne Barnes
General Manager
Bega Valley Shire Council
PO Box 492
Bega NSW 2550

Attention: Mark Fowler, Development Control Planner

Dear Mr Fowler

**RE: DEVELOPMENT APPLICATION NO 2017.421 – SUBMISSION OF REVISED DA
103-107 MAIN STREET, MERIMBULA NSW 2548**

Acting on behalf of ALDI Stores (A Limited Partnership) (ALDI Store), Milestone (AUST) Pty Limited (Milestone) submits this Addendum Planning Summary to the Statement of Environmental Effects, dated October 2017 (Addendum) and revised DA Plans to the Bega Valley Shire Council (Council) relevant to Development Application No 2017.421 (Development Application) at the property known as 103-107 Main Street, Merimbula (Lot 949 in DP 810986 & Lot 946 in DP 604076).

A revised DA package is submitted to Council based on an amended site plan which removes the right of way associated with the property located at 101 Main Street, Merimbula (SP 41712).

This submission also acknowledges the Development Application as an Integrated Development due to the proposed new service road batter and the energy dissipater being located within 40 metres distance from the Merimbula Creek bank.

Included with this submission are the following documents for Council's Assessment:

- This Addendum Planning Summary to the Statement of Environmental Effects prepared by Milestone.
- Architectural Plan prepared by Rothelowman Architects (**Appendix A**), including:
 - Site Plan, Drawing No TP00.01, Revision P14;
 - Level Basement Plan, Drawing No TP01.02, Revision P15;
 - Level Dock Plan, Drawing No TP01.03, Revision P10;
 - Level Store Plan, Drawing No TP01.04, Revision P16;
 - Roof Plan, Drawing No TP01.05, Revision P10;
 - Sections, Drawing No TP03.01, Revision P12;
 - GFA & NLA Plan, Drawing No TP04.92, Revision P7;
 - Signage Plan, Drawing No TP04.03, Revision P6; and
 - Development Summary, Drawing No TP07.01, Revision P7.
- Landscape Plan prepared by Site Image (**Appendix B**), including:
 - Cover Sheet, Drawing No 000, Issue D;
 - Landscape Plan, Drawing No 101, Issue D; and
 - Landscape Details, Drawing No 501, Issue B.
- Civil Engineering Plan, Revision 2 prepared by Henry & Hymas (**Appendix C**).
- Cheque for Integrated Development Application payable to NSW Office of Water of \$330.00.
- One (1) USB

One hard copy of the above revised documentation has been posted to Council with the USB.

1.0 BACKGROUND

A Development Application (No 2017.421) for associated earthworks and the construction and fitout of proposed building comprising an ALDI Store with associated business identification signage, landscaping and car parking at the property known as 103-107 Main Street, Merimbula was submitted to Council on 16 October 2017 supported by a Statement of Environmental Effects dated October 2017 (SEE) prepared by Milestone and architectural drawings prepared by Rothelowman Architects.

This Addendum addresses the environmental impacts of the proposed revised site plan and should be read in conjunction with the original SEE documentation. This Addendum only addresses sections of the proposed development that differ materially requiring an environmental impact assessment.

Please be advised that the following changes have been made to the proposed development:

- Revise the proposed site plan to remove the right of way associated with the property located at 101 Main Street, Merimbula (SP 41712);
- Modification of the at-grade car park entry from the existing right of way within the property known as 101 Main Street to 105-107 Main Street;
- Modification of the at-grade car park layout;
- Realignment of the vehicular access ramp from the at-grade car park to the basement car park;
- Reduction of at-grade car parking spaces from 63 to 51 spaces, resulting in the total car parking provision being reduced from 101 to 89 spaces;
- Erection of a fence along the eastern site boundary shared with 101 Main Street;
- Modification to the layout of the proposed ALDI Store forecourt;
- Correction of the gross floor area and floor space ratio calculation error;
- Increase the proposed landscaped area from 284m² to 307m².

2.0 DESCRIPTION OF THE PROPOSED DEVELOPMENT

The submission seeks to revise the at-grade car park layout, specifically the amended DA plan package seeks to:

- Revise the new ALDI Store at-grade car park egress/ingress point from the existing driveway at 101 Main Street to the property at 105-107 Main Street;
- Revise the at-grade car park layout;
- Realign the vehicular access ramp from the at-grade car park to the basement car park;
- Reduce the at-grade parking spaces from 63 to 51 spaces, resulting in a total parking provision of 89 spaces;
- Erect a fence along the eastern site boundary shared with 101 Main Street;
- Modify the proposed ALDI Store forecourt layout;
- Correct the error of gross floor area and floor space area ratio calculation; and
- Increase the proposed landscaped area from 284m² to 307m².

Table 1 provides a development summary of the modified development:

Table 1: Development Summary

	Original	Revised	Change
Car Parking	101 spaces	89 spaces	-12 spaces
Bicycle Parking	8 spaces	8 spaces	Revised location of bicycle racks adjacent to the ALDI Store forecourt
Landscaping Area	284m ²	307m ²	+23m ²
GFA	1,685.8m ²	1,685.8m ²	No change
FSR	0.26:1	0.34:1	+8%

The revised development does not seek any other changes to the original development other than the items listed above. Revised Architectural Drawings prepared by Rothelowman held at **Appendix A** of this report.

Figures 1 and 2 show the original and revised proposed site plans.

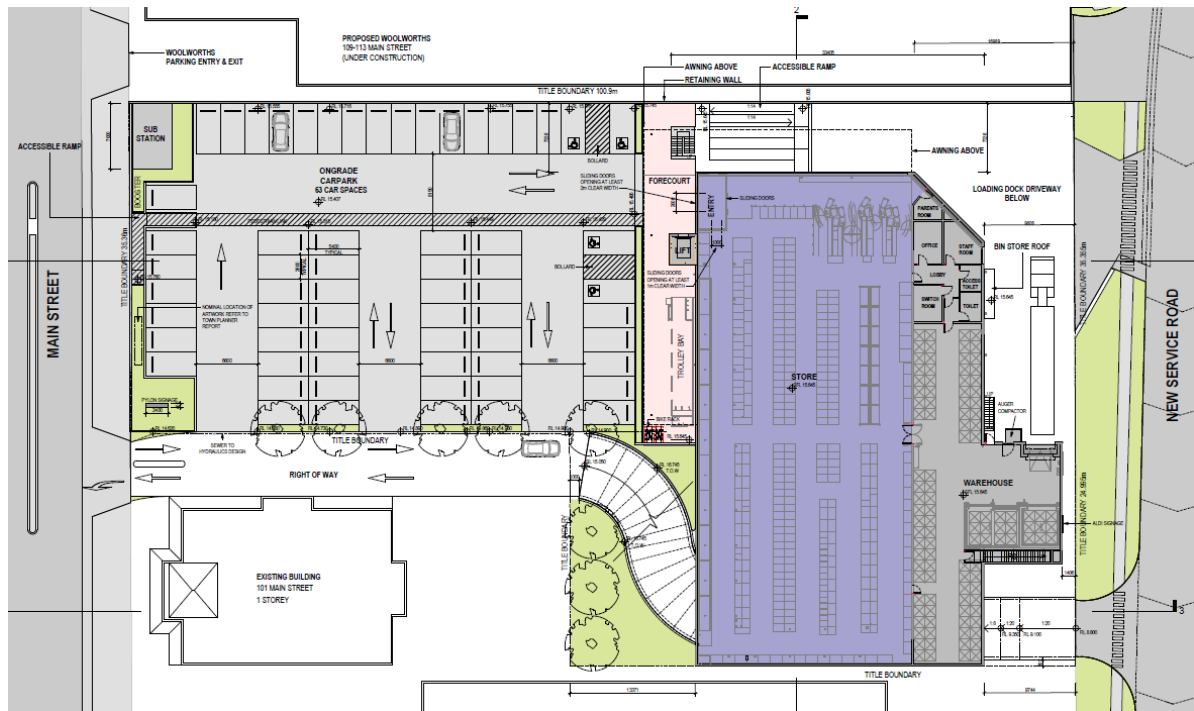


Figure 1: Original Site Plan
Source: Rothelowman Architects, 2017

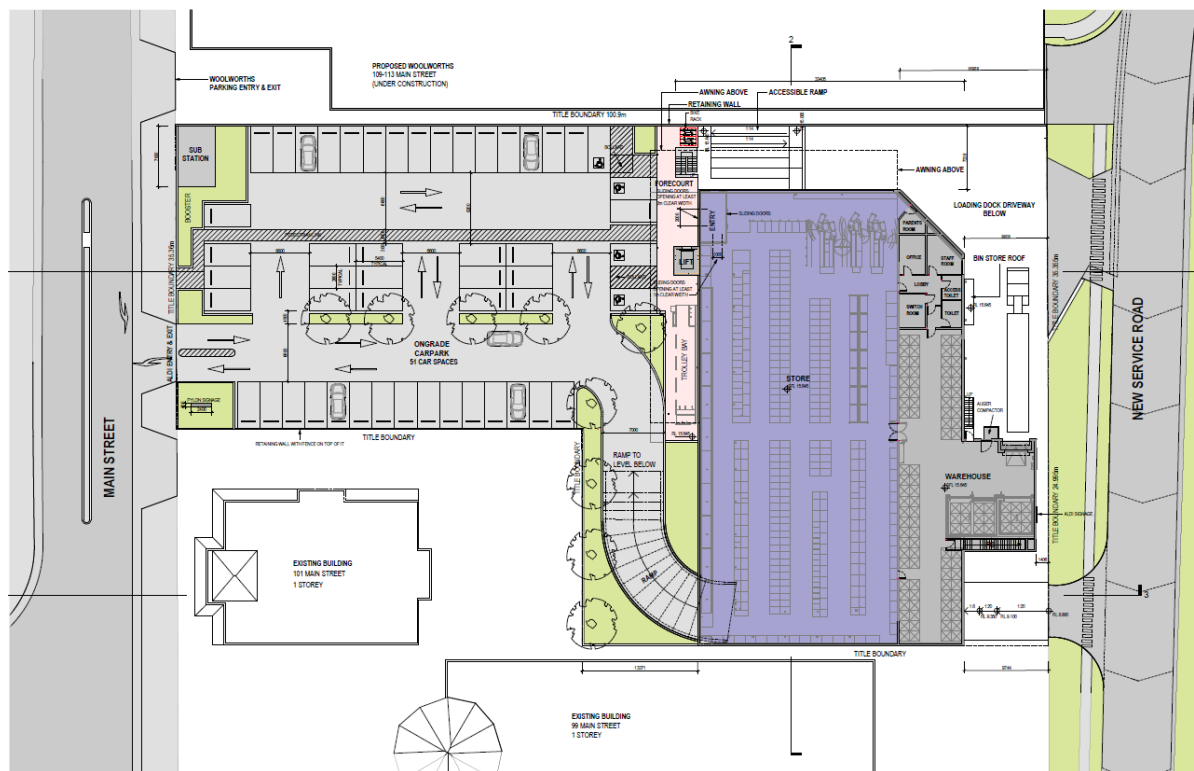


Figure 2: Revised Site Plan
Source: Rothelowman Architects, 2018

3.0 ENVIRONMENTAL IMPACT ASSESSMENT (SECTION 5 OF THE ORIGINAL SEE)

3.1 Gross Floor Area and Floor Space Ratio

The submission seeks to correct the Gross Floor Area calculation error shown on the architectural drawing No TP04.02, Revision P4. The correct Gross Floor Area is 1,685.8m² and the drawing No TP04.02 has been revised accordingly. Given the site area is 4,917.2m², the proposed development has a floor space ratio (FSR) of 0.34:1.

In accordance with the Bega Valley Local Environmental 2013 (LEP 2013), the site is not subject to a FSR development standard. LEP 2013 sets out the objectives of FSR development standard as follows:

- (a) *'to establish the maximum development density and intensity of land use, taking into account the availability of infrastructure to service that site and the vehicle and pedestrian traffic that the development will generate,*
- (b) *to ensure that buildings are compatible with the bulk and scale of the locality.'*

3.2 Access and Parking

Pedestrian Access

The revised development maintains the direct pedestrian path between the proposed ALDI Store forecourt and the Main Street footpath. There is no change to the proposed pedestrian footpath along the new service road and accessible ramp to the new ALDI Store at the rear of the site.

Vehicular Access

The modified development seeks to relocate the at grade car park entry from the existing right of way at 101 Main Street to the property at 103-107 Main Street. There is no change to the proposed driveways for the rear loading dock and basement car park entry at the rear of the site.

The proposed crossover and driveway along Main Street are located approximately 25m from the intersection of Main and Market Streets and comply with the Bega Valley DCP requirement of *'driveway to be located 9m to an intersecting street'*.

The revised driveway is entirely located within the site and will exclusively serve the new ALDI Store. The proposed development has been designed to minimise traffic conflicts and create a safe environment for ALDI Store customers and employees and will continue to provide positive pedestrian safety outcomes.

Parking

The modified at-grade car park includes a total of 51 parking spaces (including 4 accessible spaces). The modified development results in an overall car parking provision of 89 spaces (including 6 accessible parking spaces). The proposed parking bays and access aisles are designed with compliance with Australian Standards *AS/NZS 2890.1 Part 1: Off-street car parking* and *AS/NZS 2890.6 Part 6: Off-street parking for people with disabilities*.

The modified car parking provision exceeds the parking requirement of 51 spaces as required by Bega Valley DCP 2013 and satisfies the requirement to provide a minimum 5 disabled parking spaces. The modified development retains the original eight (8) bicycle parking racks which are relocated to the west of the ALDI Store forecourt.

3.3 Visual Impact

There is no change to the originally proposed high quality materials and finishes and overall bulk and scale of the development. The modified driveway and car park are consolidated wholly within the site and the amended development will continue to enhance the site presentation when viewed from Main Street.

There is no change to the proposed pylon sign at the Main Street frontage. The proposed signage does not adversely interfere with vehicular and pedestrian movements. The proposed signage does not obstruct any important views of traffic, pedestrians, traffic signs, and other public safety devices.

3.4 Landscaping

The revised site plan increases the proposed overall landscaping area on the site from 284m² to 307m² and continues to include landscaping along the Main Street frontage and within the perimeter of the at-grade car park. New plantings are proposed along the shared southern boundary with the property at 101 Main Street and within the at grade car park.

The proposed landscaping works will soften the built form when viewed from public vantage points and provide necessary shading for customers and employees. The proposed plantings will provide natural screening and protect the visual amenity and privacy.

3.5 Safety and Security

The proposal includes the erection of fencing along the eastern site boundary adjacent to the property at 101 Main Street. The fencing will appropriately secure the site and parking bays and ensure there is no vehicular movement conflict between the new ALDI Store at-grade car park and the existing driveway within 101 Main Street.

4.0 INTEGRATED DEVELOPMENT

Section 4.46 of the *Environmental Planning and Assessment Act 1979 (NSW)* (as amended) states:

'integrated development is development (not being State significant development or complying development) that, in order for it to be carried out, requires development consent and one or more of the following approvals:

Act	Provision	Approval
Water Management Act 2000	ss 89, 90, 91	Water use approval, water management work approval or activity approval under Part 3 of Chapter 3'

Section 91 of the *Water Management Act 2000 (NSW)* sets out requirements for activity approvals as follows:

- (1) *'There are two kinds of activity approvals, namely, controlled activity approvals and aquifer interference approvals.*
- (2) *A controlled activity approval confers a right on its holder to carry out a specified controlled activity at a specified location in, on or under waterfront land.*
- (3) *An aquifer interference approval confers a right on its holder to carry out one or more specified aquifer interference activities at a specified location, or in a specified area, in the course of carrying out specified activities.'*

Dictionary of the *Water Management Act 2000 (NSW)* defines controlled activity and waterfront land as follows:

'controlled activity means:

- (a) *the erection of a building or the carrying out of a work (within the meaning of the Environmental Planning and Assessment Act 1979), or*
- (b) *the removal of material (whether or not extractive material) or vegetation from land, whether by way of excavation or otherwise, or*
- (c) *the deposition of material (whether or not extractive material) on land, whether by way of landfill operations or otherwise, or*
- (d) *the carrying out of any other activity that affects the quantity or flow of water in a water source.'*

waterfront land means:

- (a) *the bed of any river, together with any land lying between the bed of the river and a line drawn parallel to, and the prescribed distance inland of, the highest bank of the river, or*
 - (a1) *the bed of any lake, together with any land lying between the bed of the lake and a line drawn parallel to, and the prescribed distance inland of, the shore of the lake, or*
 - (a2) *the bed of any estuary, together with any land lying between the bed of the estuary and a line drawn parallel to, and the prescribed distance inland of, the mean high water mark of the estuary, or*
- (b) *if the regulations so provide, the bed of the coastal waters of the State, and any land lying between the shoreline of the coastal waters and a line drawn parallel to, and the prescribed distance inland of, the mean high water mark of the coastal waters,*

where the prescribed distance is 40 metres or (if the regulations prescribe a lesser distance, either generally or in relation to a particular location or class of locations) that lesser distance. Land that falls into 2 or more of the categories referred to in paragraphs (a), (a1) and (a2) may be waterfront land by virtue of any of the paragraphs relevant to that land.'

The site is approximately 60 metres south of the Merimbula Creek bank and the proposed service road is 16 metres in width, therefore the northern road alignment is approximately 44 metres south of Merimbula Creek bank and construction of the new ALDI Store and service road does not trigger an approval from NSW Office of Water.

It is acknowledged the proposed service road batter and energy dissipater with associated catch diversion drain are located within 40 metres distance from the Merimbula Creek bank. ALDI Stores will obtain an approval from NSW Office of Water prior to the commencement of constructing the road batter, energy dissipater, and catch diversion drain.

5.0 CONCLUSION

The Development Application No 421.2017 seeks Development Consent for the associated earthworks, construction and fitout of proposed building comprising an ALDI Store with associated business identification signage, landscaping and car parking at the property known as 103-107 Main Street, Merimbula (Lot 949 in DP 810986 & Lot 946 in DP 604076).

This submission seeks to replace the original architectural, civil and landscape drawings in response to the proposed revised site plan. These changes to the proposed site layout are required due Owner's Consent not being provided for the use of land at 101 Main Street.

In light of the merits of the revised development proposal and given the absence of any significant adverse environmental impacts, we recommend the proposed development be supported by Council and approved by the Panel.

Should you require further clarification regarding this matter, please do not hesitate to contact the undersigned.

Yours sincerely

Milestone (AUST) Pty Limited



Lisa Bella Esposito
Director

Appendices

APPENDIX A: ARCHITECTURAL PLANS PREPARED BY ROTHELOWMAN ARCHITECTS



CAR SPACES	
LEVEL BASEMENT	38
LEVEL STORE	51
89	

Revisions	
P11	26.09.17 Client Review prior D.A. submission
P12	30.01.18 D.A. Submission
P13	05.02.18 Amended Carpark Layout
P14	28.02.18 To Planners for D.A. re-submission
P14	28.02.18 D.A. Re-submission

JM
AK
JM
JM
JM

Project / **MERIMBULA ALDI**

Drawing / **SITE PLAN**

Project No. / **216142** Date / **01/05/17**

Author / **JC**

Scale: @ A1 / **1 : 500**

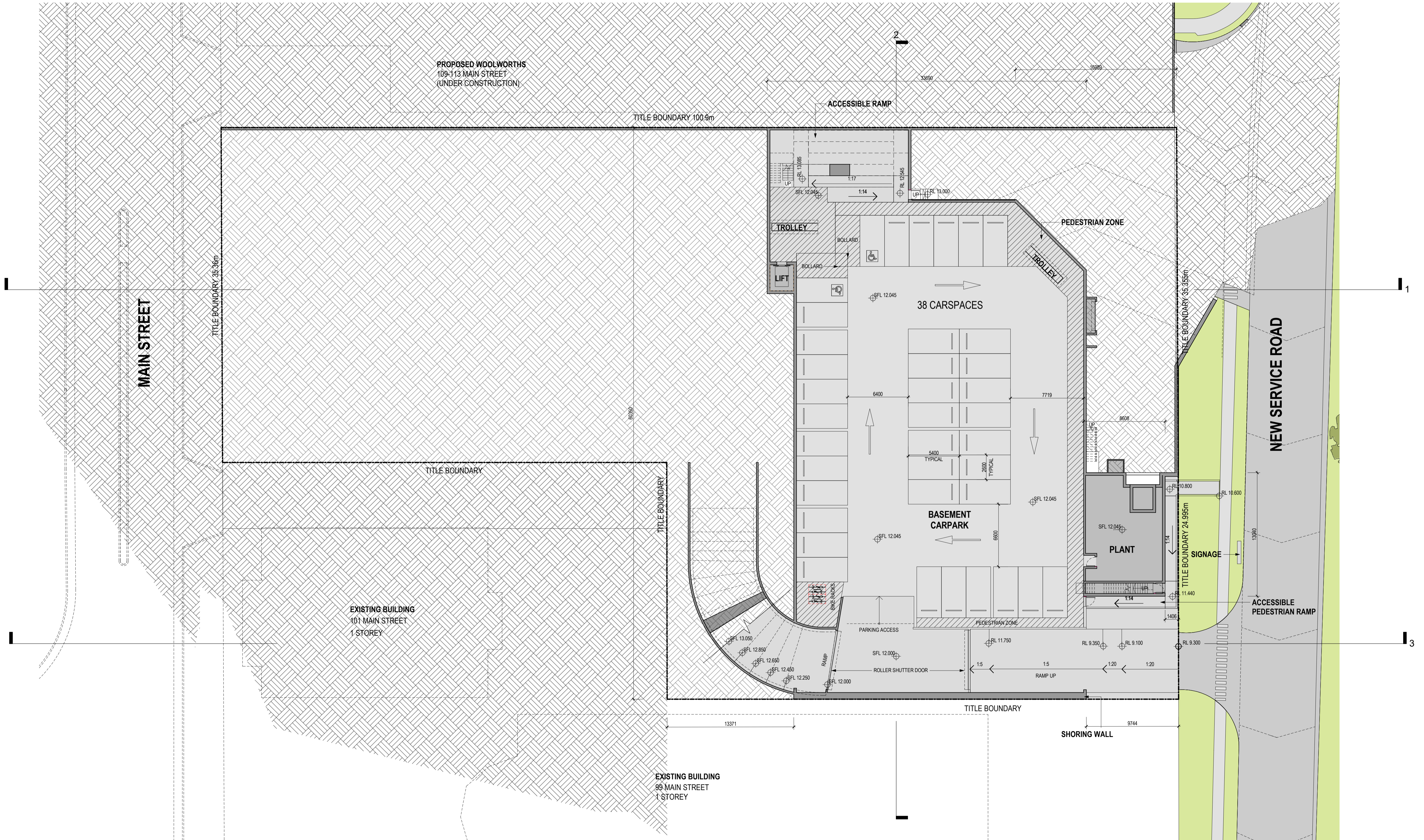
Drawing No. / **TP00.01 P14**

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CAR SPACES	
LEVEL BASEMENT	38
LEVEL STORE	51
	89

Revisions	P12	26.09.17	Client Review prior D.A. submission	JM
		27.09.17	D.A. Submission	AK
	P13	05.02.18	To Planners for D.A. re-submission	JM
	P14	28.02.18	D.A. Re-submission	JM
	P15	01.03.18	D.A. Re-submission	JM

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Project / **MERIMBULA ALDI**

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Drawing / **LEVEL BASEMENT
PLAN**

Project No. / **216142** Date / **03/05/17**

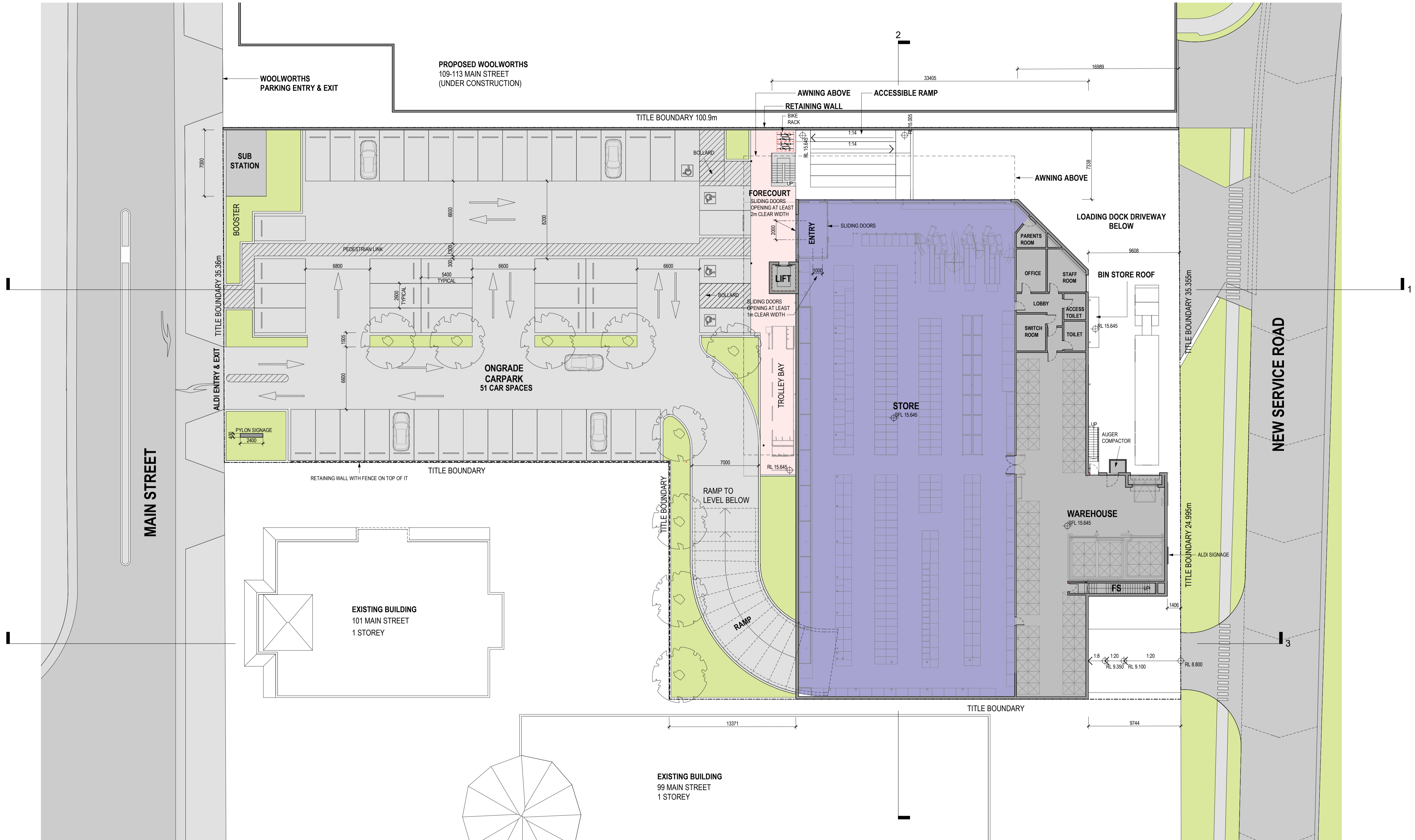
Author / **JC**

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Drawing No. / **TP01.02 P15**

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Revisions	27.09.17	D.A Submission
P13	30.01.18	Amended Carpark Layout
P14	05.02.18	To Planners for D.A. re-submission
P15	15-02-18	For Civil and Landscape coordination
P16	28.02.18	D.A. Re-submission

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Project / **MERIMBULA ALDI**

Drawing / **LEVEL STORE PLAN**

Project No. / **216142** Date / **01/05/17**

Author / **JC**

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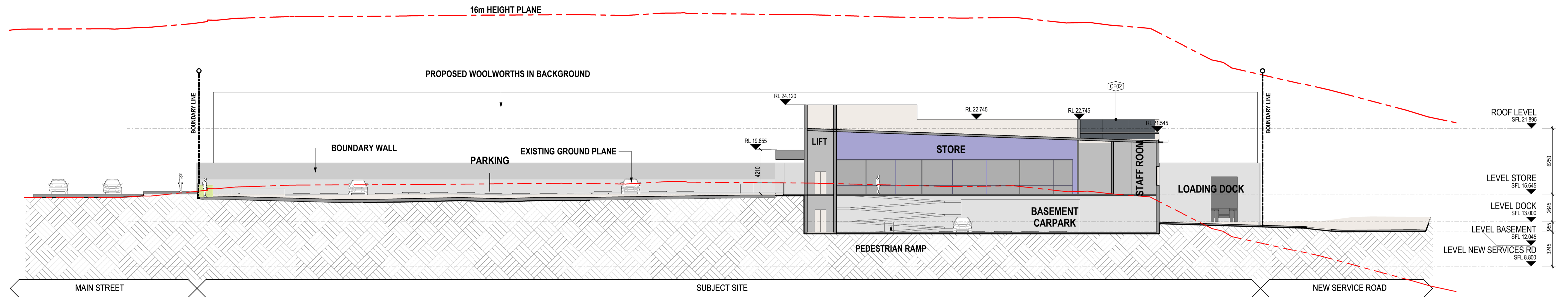
Drawing No. / **TP01.04 P16**

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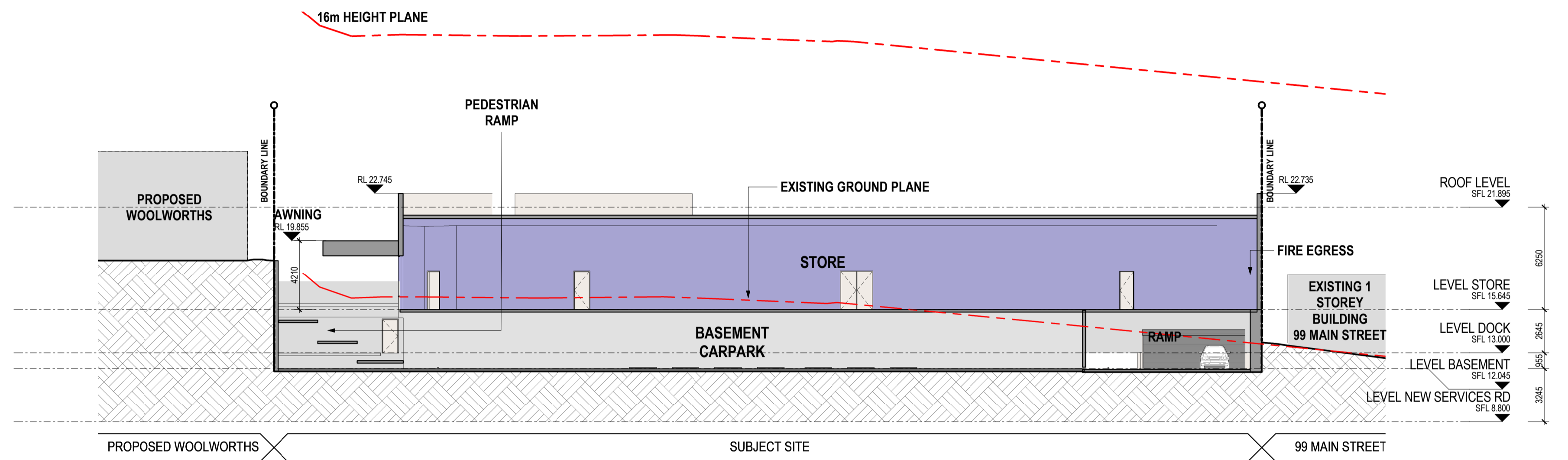
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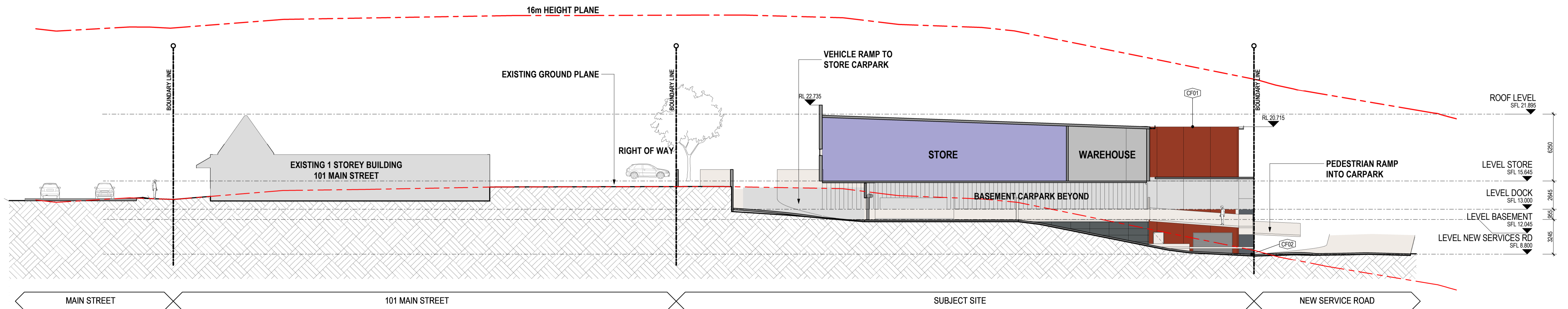
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Section 1



Section 2



Section 3

Revisions	P9	25.09.17	Internal review	JM
	P10	26.09.17	Client Review prior D.A. submission	JM
	P11	27.09.17	D.A. Submission	AK
	P11	05.02.18	To Planners for D.A. re-submission	JM
	P12	28.02.18	D.A. Re-submission	JM

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FINISHES	REFER TO MATERIAL SELECTIONS FOR DESCRIPTION AND COLOUR
(MF01)	METAL FINISH TYPE 01
(CF01)	CONCRETE FINISH TYPE 01
(CF02)	CONCRETE FINISH TYPE 02

Project / **MERIMBULA ALDI**

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Drawing / **SECTIONS**

Project No. / **216142** Date / **01/05/17**

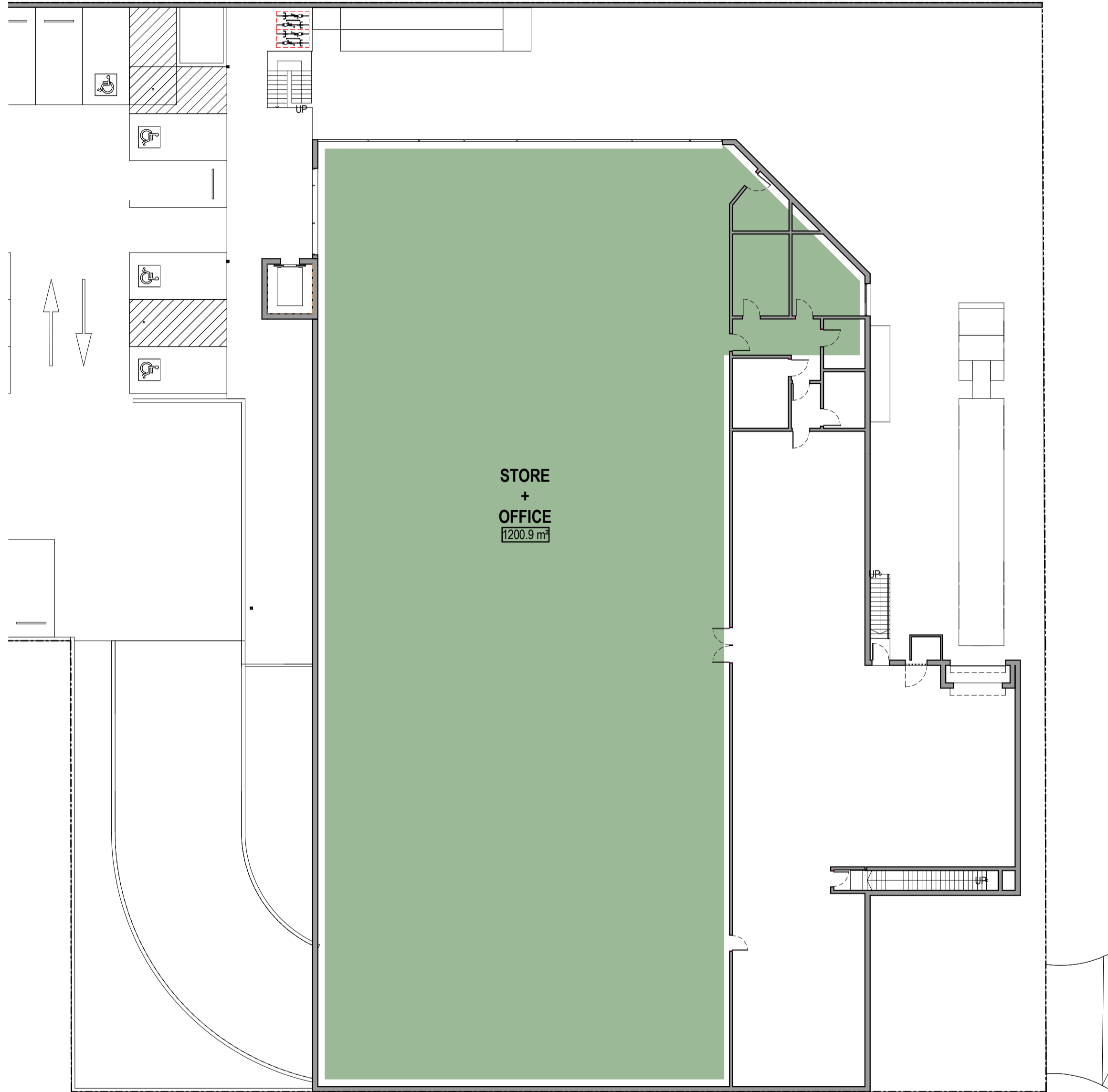
Author / **AK**

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Drawing No. / **TP03.01 P12**

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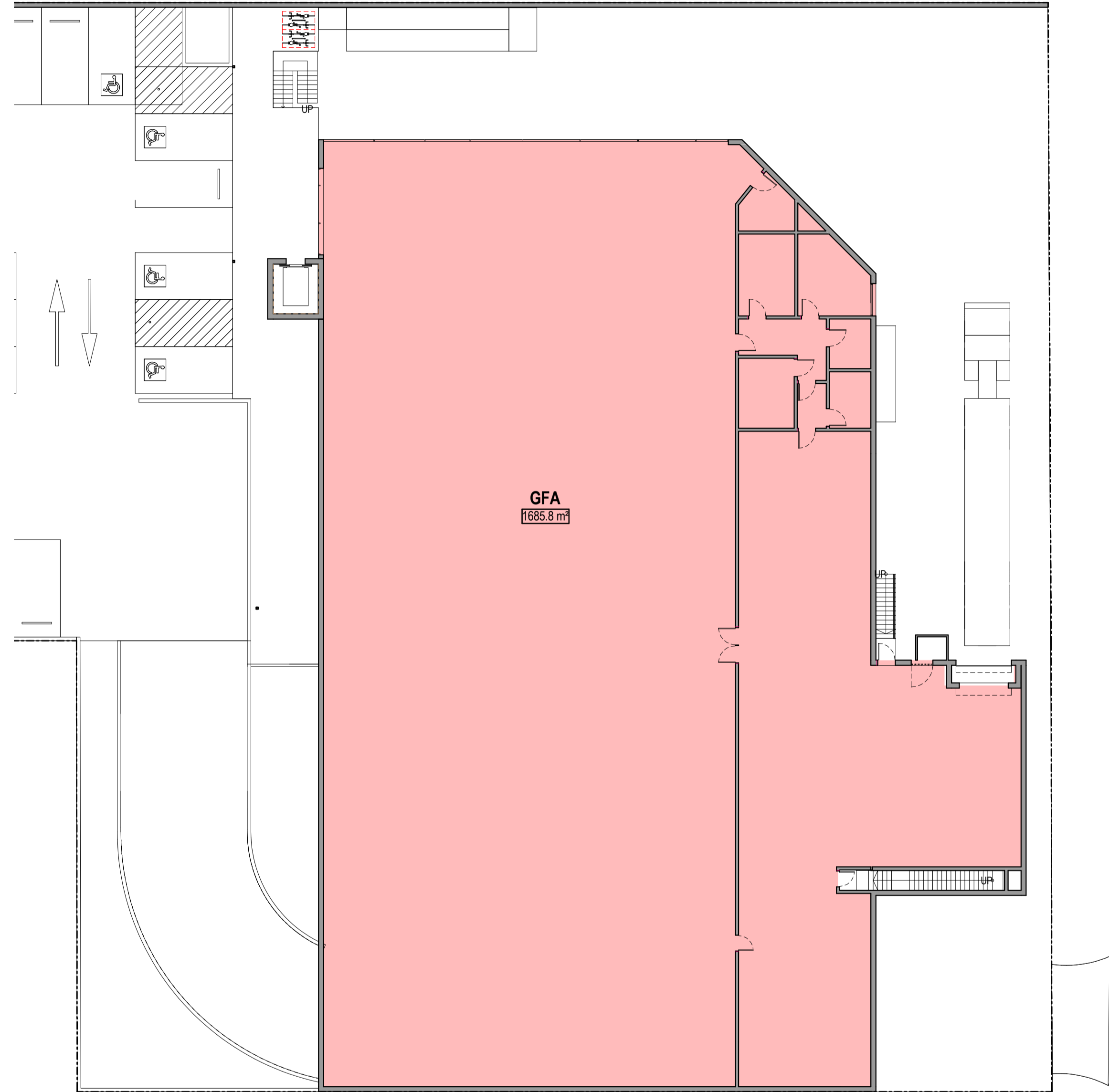
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STORE + OFFICE - LEVEL STORE

GFA AREA CALCULATIONS
AREA
1200.9 m²

SITE AREA
4917.2 m²



GFA - LEVEL STORE

GFA AREA CALCULATIONS
Area
1685.8 m²

Revisions				
P4	26.09.17	Client Review prior D.A. submission	JM	
	27.09.17	D.A. Submission	AK	
P5	06.02.18	Revised areas to planner	JM	
P6	07.02.18	Areas renamed for planning	JM	
P7	01-03-18	D.A. Re-submission	JM	

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Project / **MERIMBULA ALDI**

Drawing / **STORE+OFFICE & GFA**

Project No. / **216142**

Date / **12.09.17**

Author / **JN**

Scale: @ A1 / **1 : 200**

Drawing No. / **TP04.02 P7**

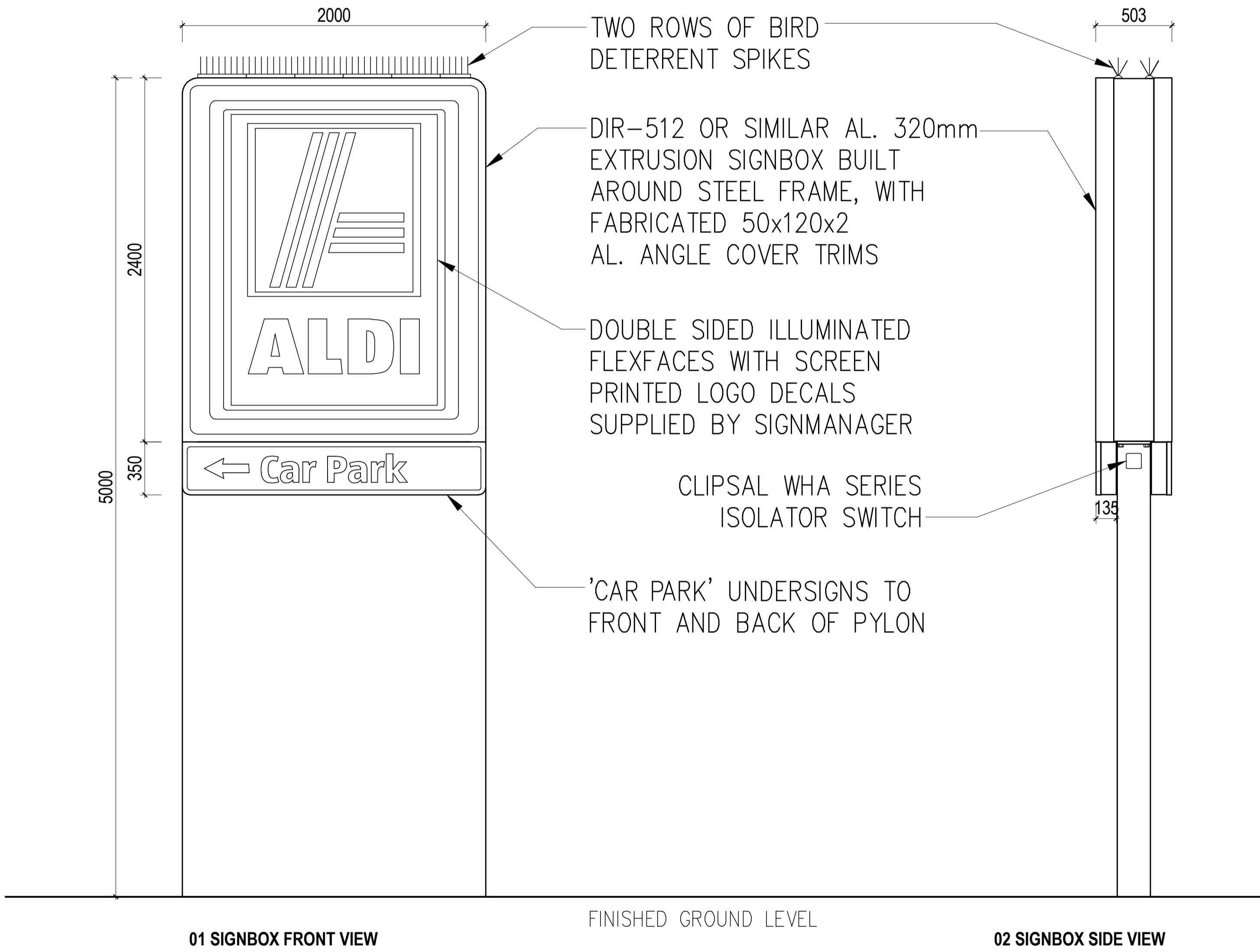
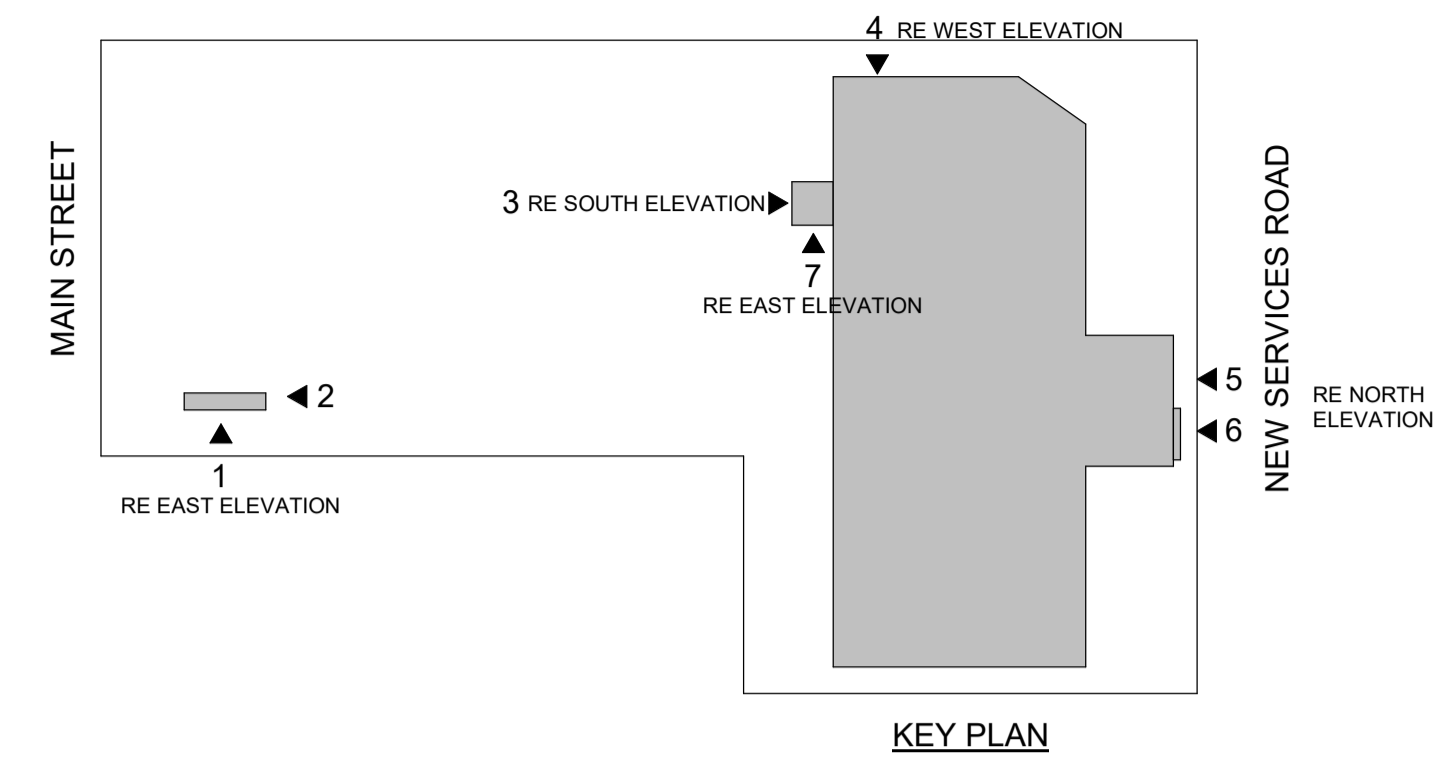
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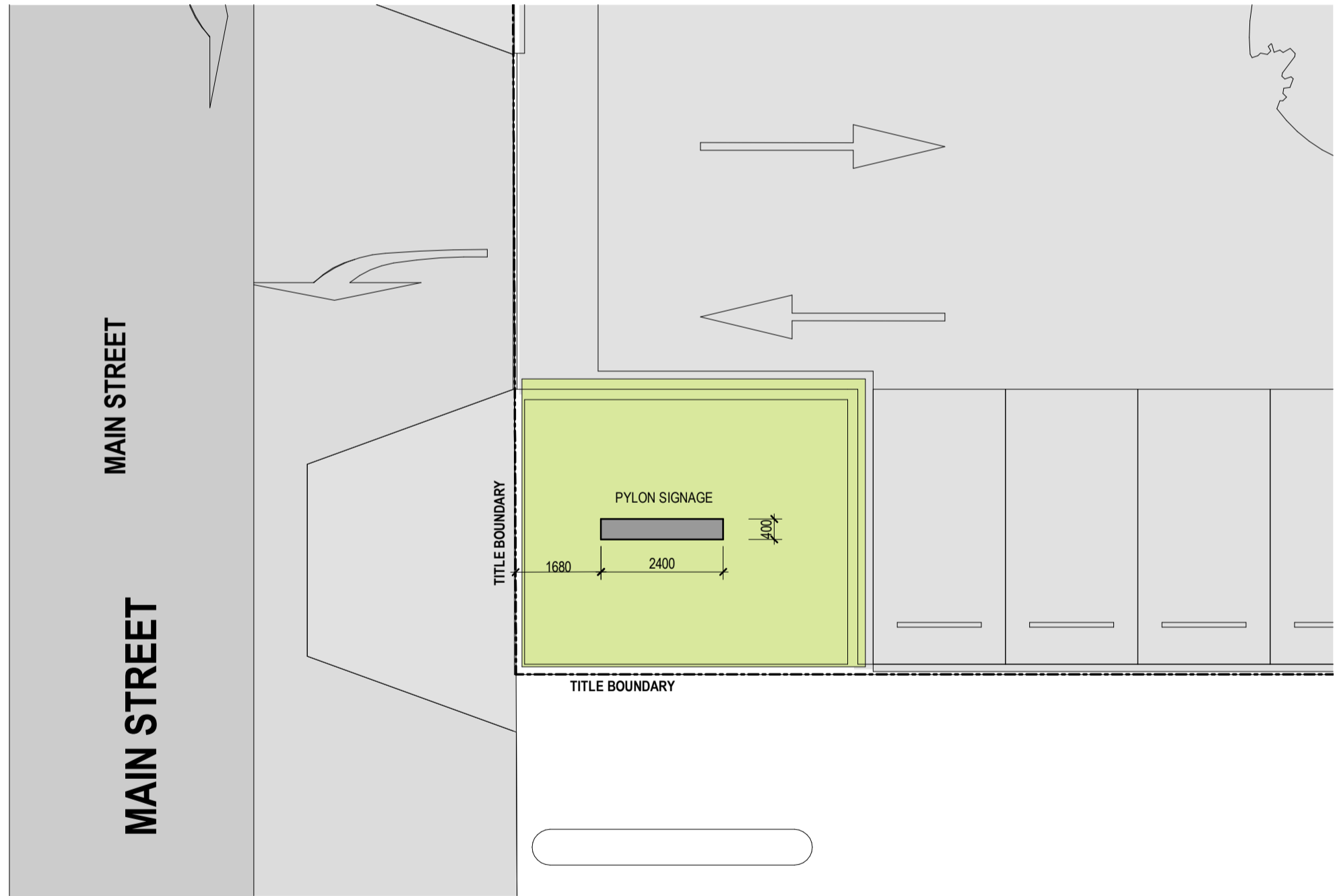
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- FOR ILLUMINATED SIGNAGE FIXED ON WALLS, REFER TO ELEVATIONS AS PER KEY PLAN
- FOR SIGNAGE BOX, REFER TO THIS DRAWING
- FOR STATUTORY SIGNAGE, REFER TO ALDI STANDARD DOCUMENTS PRODUCED BY SIGNMANAGER



ALDI SIGNAGE DETAIL



ALDI SIGNAGE - MAIN STREET

Revisions	27.09.17	D.A. Submission	AK
	10.10.17	D.A. Submission: Notes Added Regarding Signage	AK
P5	05.02.18	To Planners for D.A. re-submission	JM
P6	28.02.18	D.A. Re-submission	JM

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Project / **MERIMBULA ALDI**

Drawing / **SIGNAGE PLAN**

Project No. / **216142**

Date / **09/13/17**

Author / **JN**

Scale: @ A1 / **As indicated**

Drawing No. / **TP04.03 P6**

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DEVELOPMENT SUMMARY

LEVEL	PARKING	STORE + OFFICE	CIRCULATION/SERVICES
LEVEL NEW SERVICES RD	0.0 m²	0.0 m²	102.0 m²
LEVEL BASEMENT	1327.1 m²	0.0 m²	257.4 m²
LEVEL DOCK	507.1 m²	0.0 m²	355.9 m²
LEVEL STORE	1774.1 m²	1200.9 m²	615.7 m²
	3608.2 m²	1200.9 m²	1330.9 m²

*For preliminary feasibility purposes. Areas are not to be used for purpose of lease or sale agreements. Layouts may not comply with building regulations or other regulatory requirements. The information contained in this schedule is believed to be correct at the time of printing. Areas are generally measured in accordance with the Property Council of Australia Method of Measurement.

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NOTES AND DEFINITIONS

GFA
(Gross Floor Area) has been calculated as per the definition in the relevant Local Environmental Plan (LEP).

GEA
(Gross Envelope Area) has been calculated as the total enclosed and unenclosed area of the building at all building floor levels measured between the normal outside face of any enclosing walls, balustrades and supports.

GLA RETAIL
(Gross Lettable Area Retail) has been calculated as per the Property Council of Australia *Method of Measurement* Guidelines - Retail / Commercial.

NSA RESIDENTIAL
(Net Saleable Area Residential) has been calculated as per the Property Council of Australia *Method of Measurement* Guidelines - Residential.

SOLAR ACCESS
Living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of 2 hours direct sunlight between 9am and 3pm at mid winter in the Sydney Metropolitan Area and in the Newcastle and Wollongong local government areas.

CROSS VENTILATION
At least 60% of apartments are naturally cross ventilated in the first nine storeys of the building. Apartments at ten storeys or greater are deemed to be cross ventilated only if any enclosure of the balconies at these levels allows adequate natural ventilation and cannot be fully enclosed.

LEVEL	CARPARKS RETAIL	BICYCLE PARKS
LEVEL BASEMENT	38	4
LEVEL STORE	51	4
	89	8

Max. Height
16m
Zone
B2

Revisions	P4	26.09.17	Client Review prior D.A. submission	JM
		27.09.17	D.A Submission	AK
	P5	05.02.18	To Planners for D.A. re-submission	JM
	P6	06.02.18	Revised areas to planner	JM
	P7	28.02.18	D.A. Re-submission	JM

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Project **MERIMBULA ALDI**

103 MAIN STREET,
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Drawing **DEVELOPMENT
SUMMARY**

Project No. **216142** Date **18/09/17**

Author **AK**

Scale: @ A1

Drawing No. **TP07.01 P7**

rothelowman

Brisbane, Melbourne, Sydney
www.rothelowman.com.au

Appendices

APPENDIX B: LANDSCAPE PLANS PREPARED BY SITE IMAGE

ALDI Merimbula

103 Main St, Merimbula, NSW 2548

Development Application

DRAWINGS

DWG NO.	DRAWING TITLE	SCALE
000	COVER SHEET	
101	LANDSCAPE PLAN	1:150
501	LANDSCAPE DETAILS	AS SHOWN

PROPOSED LANDSCAPE AREAS

307m²	REVISED SUBMISSION
(REV D)	
284m²	PREVIOUS DA SUBMISSION
(REV B)	

PLANT SCHEDULE							
Symbol	Botanical Name	Common Name	Height Metres	Width	Pot Size	Spacing	Quantity
Trees							
TI	<i>Tristaniopsis laurina</i>	Water Gum	8	5	100L	As Shown	13
Shrubs and Accents							
Pc	<i>Phormium cookianum</i>	Mountain Flax	1	1	300mm	As Shown	60
PgR	<i>Photinia glabra</i> 'Rubens'	Photinia Rubens	3	2	300mm	As Shown	81
Groundcovers							
DB	<i>Dianella caerulea</i> 'Breeze'	Dianella Breeze	0.6	0.6	150mm	5/m2	723
Gt	<i>Gazania tomentosa</i>	Silver Leaf Gazania	0.2	0.5	150mm	5/m2	512

NOT FOR CONSTRUCTION

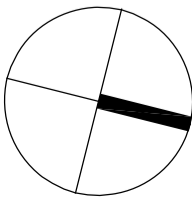
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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

D	Architectural Coordination	LM	NM	01.03.2018
C	Architectural Coordination	JM	NM	09.02.2018
B	Architectural Coordination	JW	NM	26.09.2017
A	For Comment	JW	NM	28.08.2017
Issue	Revision Description	Drawn	Check	Date

LEGEND

Key Plan:



Client:
ALDI STORES

Project:
ALDI Merimbula
103 Main St
Merimbula NSW 2548

Drawing Name:
Cover Sheet

DEVELOPMENT APPLICATION


Scale:
Job Number:
SS17-3622


Drawing Number:
Issue:
000 D





The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

LEGEND

 Site Boundary

 Proposed Tree

 Proposed Shrubs and Accents

 Edging

Drawing Name:


Landscape Plan

Scale: 1:150 @ A1

Job Number: SS17-3622

Drawing Number: 101

Issue: D



A horizontal graphic scale bar with a total length of 5 meters. It is divided into five equal segments, each representing 1 meter. The segments are labeled with the numbers 0, 1, 2, 3, 4, and 5 at their respective positions. The unit '5m' is written at the far right end of the bar.

NOT FOR CONSTRUCTION

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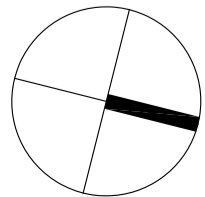
The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

B Architectural Coordination
A For Comment
Issue Revision Description

JW NM 26.09.2017
JW NM 28.08.2017
Drawn Check Date

LEGEND

Key Plan:



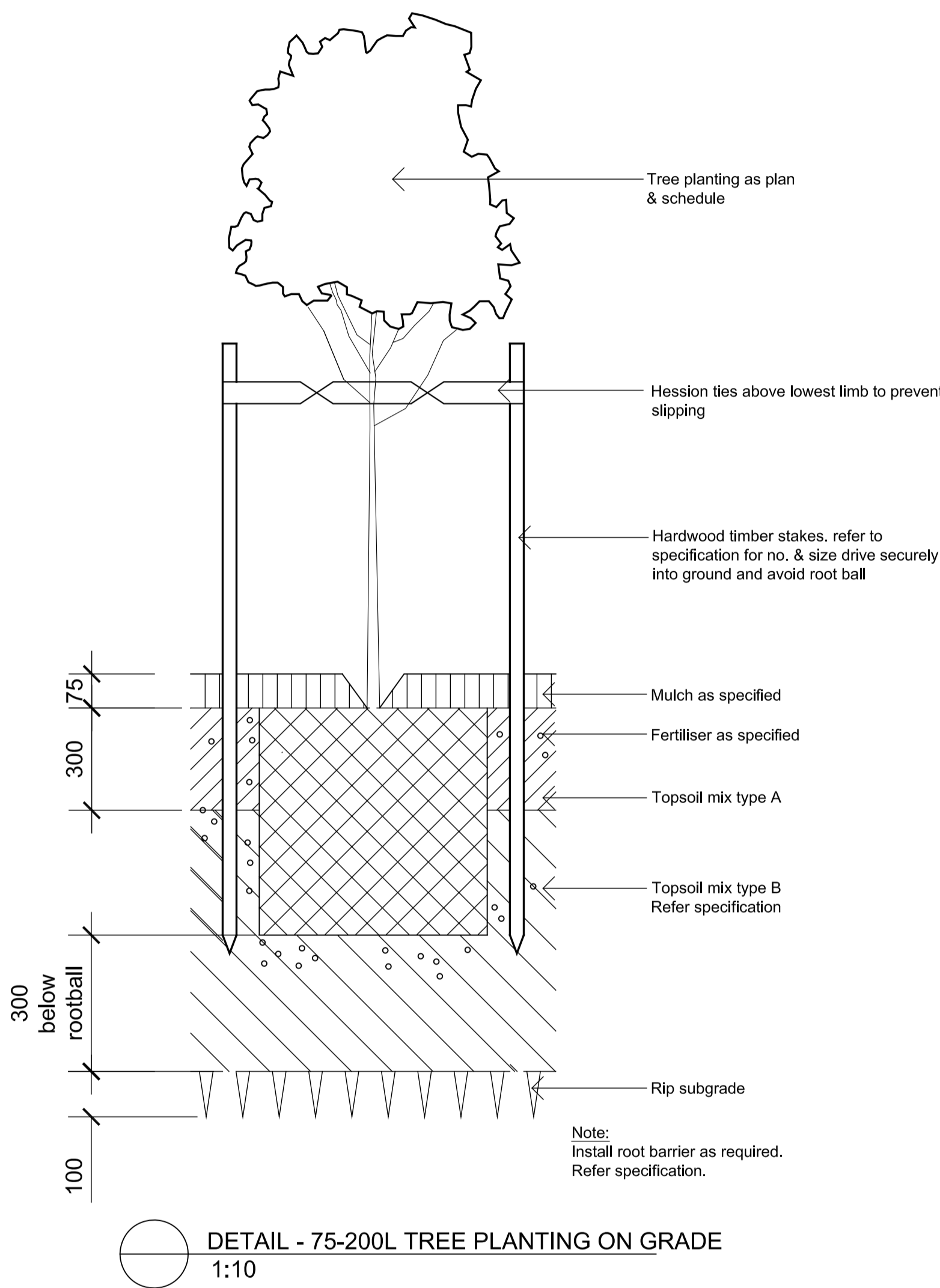
SITE IMAGE
Landscape Architects
Level 1, 3-5 Baptist Street
Redfern NSW 2016
Australia
Tel: (61 2) 8332 5600
Fax: (61 2) 9698 2877
www.siteimage.com.au

Client:
ALDI STORES
Project:
ALDI Merimbula
103 Main St
Merimbula NSW 2548

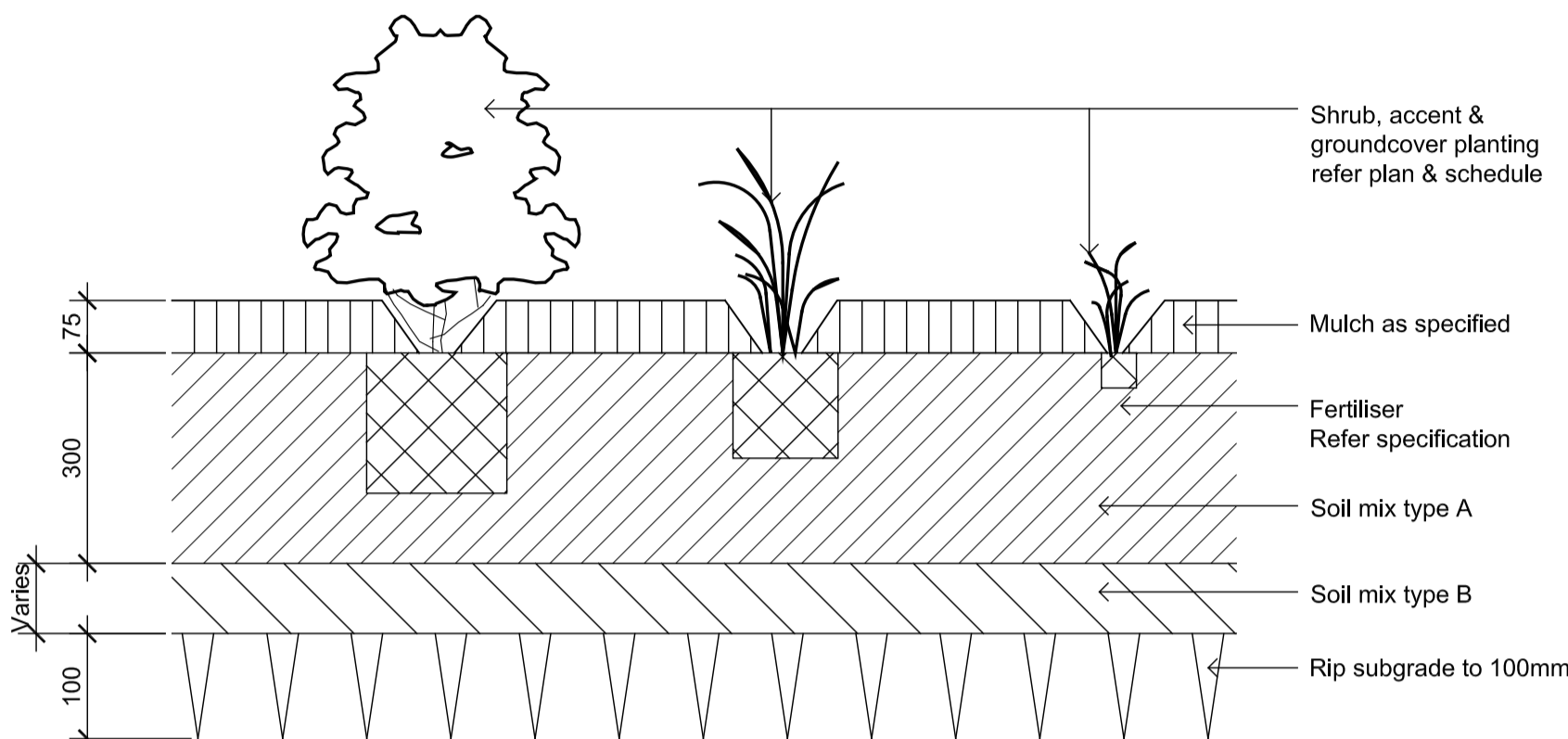
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Landscape Details

Scale:
Job Number:
SS17-3622
Drawing Number:
Issue:
501 B

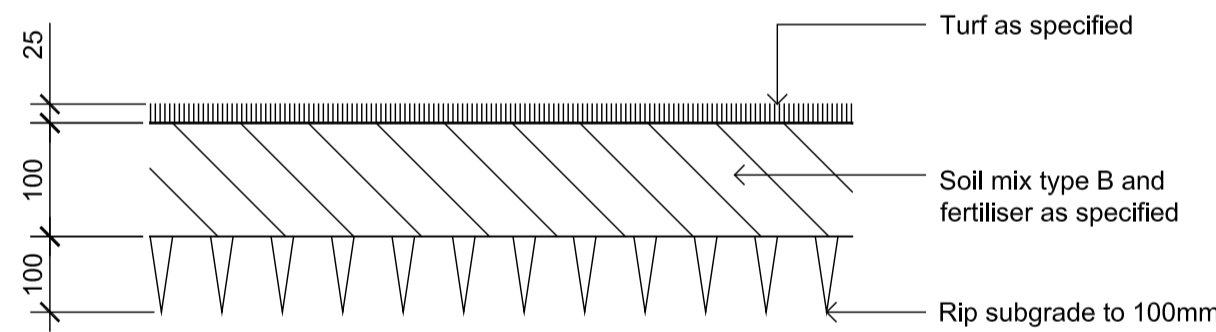
PRELIMINARY



DETAIL - 75-200L TREE PLANTING ON GRADE
1:10



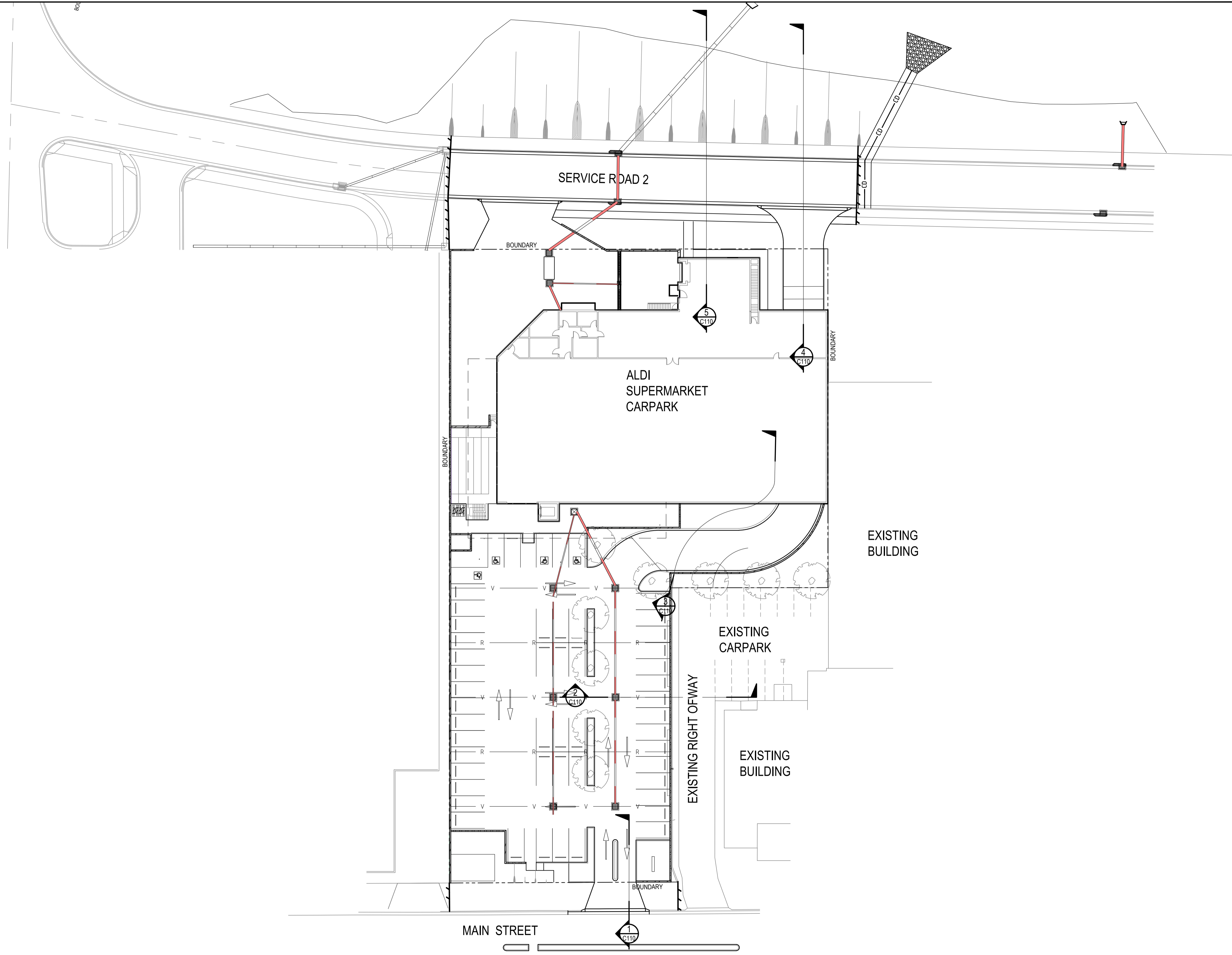
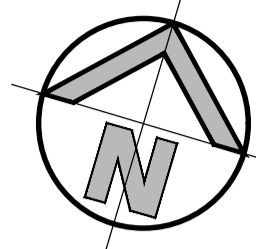
DETAIL - SHRUB, ACCENT & GROUNDCOVER PLANTING ON GRADE
1:10



DETAIL - TURF ON EVEN GRADE
1:10

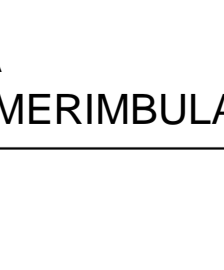
Appendices

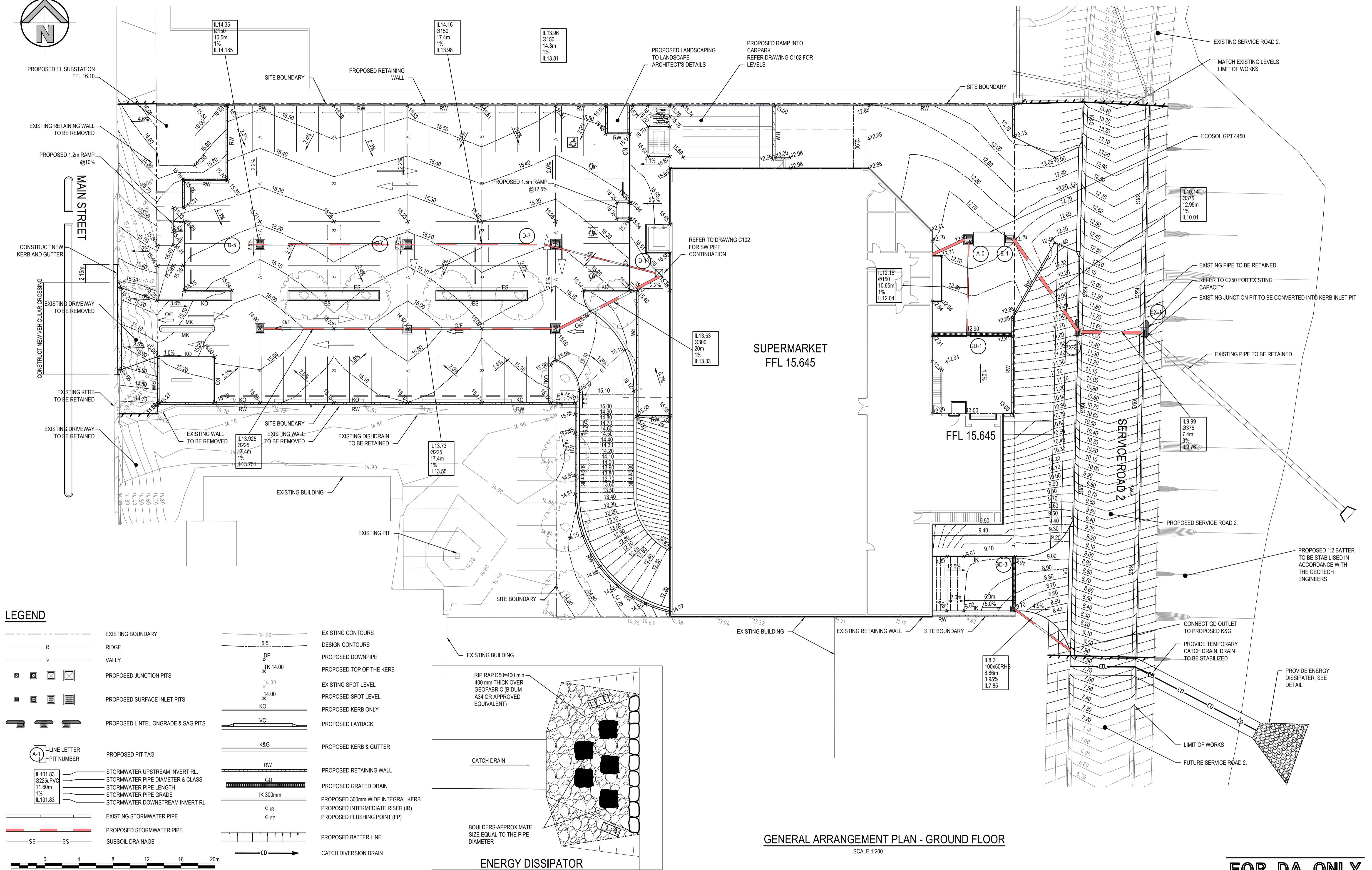
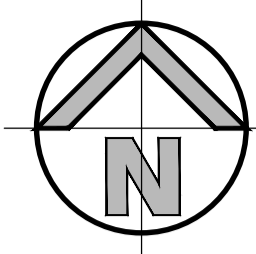
APPENDIX C: CIVIL ENGINEERING PLANS PREPARED BY HENRY & HYMAS



OVERALL PLAN
SCALE 1:300

FOR DA ONLY

<div>SURVEY INFORMATION</div> <div>SURVEYED BY: CADDEY AND JARMAN</div> <div>DATUM: AHD</div> <div>ORIGIN: SSM54787 RL15.92</div>										<div>Client</div> <div>ALDI AUSTRALIA</div> <div>Architect</div> <div>ROTHE LOWMAN</div> <div>This drawing and design remains the property of Henry & Hymas and may not be copied in whole or in part without the prior written approval of Henry & Hymas.</div>										<div>Level 5, 79 Victoria Avenue Chatswood NSW 2067</div> <div>Telephone +61 2 9417 8400 Facsimile +61 2 9417 8337 Email email@hhconsult.com.au Web www.henryandhymas.com.au</div> <div></div>										<div>Project</div> <div>ALDI MERIMBULA 103 MAIN ROAD, MERIMBULA NSW</div> <div>Title</div> <div>OVERALL PLAN</div>										<div>Drawn</div> <div>L.Caha</div> <div>Checked</div> <div>T.Rezeznal</div> <div>Drawing number</div> <div>17623_DA_C100</div>		<div>Designed</div> <div>L.Caha</div> <div>Approved</div> <div>A.Francis</div> <div>Scale</div> <div>1:300 @A1</div> <div>Revision</div> <div>02</div>	
02	RE-ISSUED FOR DA			MC	TR	XX.02.2018																																					
01	ISSUED FOR DA			MC	TR	28.09.2017																																					
REVISION		AMENDMENT		DRAWN	DESIGNED	DATE	REVISION		AMENDMENT		DRAWN	DESIGNED	DATE																														

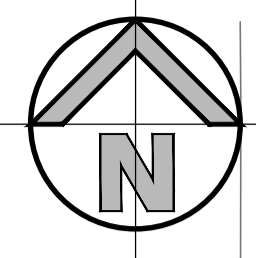


GENERAL ARRANGEMENT PLAN - GROUND FLOOR

SCALE 1:200

FOR DA ONLY

SURVEY INFORMATION SURVEYED BY: CADDEY AND JARMAN DATUM: AHD ORIGIN: SSM54787 RL15.92				Client ALDI AUSTRALIA Architect ROTHE LOWMAN This drawing and design remains the property of Henry & Hymas and may not be copied in whole or in part without the prior written approval of Henry & Hymas.				Level 5, 79 Victoria Avenue Chotswood NSW 2067 Telephone +61 2 9417 8400 Facsimile +61 2 9417 8337 Email email@hhconsult.com.au Web www.henryandhymas.com.au				Project ALDI MERIMBULA 103 MAIN ROAD, MERIMBULA NSW Title GENERAL ARRANGEMENT PLAN GROUND FLOOR				Drawing number 17623_DA_C101 Revision 02			
02 RE-ISSUED FOR DA				MC				XX.02.2018				Drawn L.Caha				Date Jun 2017			
01 ISSUED FOR DA				MC				28.09.2017				Checked T.Rozehnal				Scale 1:200@A1			
REVISION				AMENDMENT				DRAWN				DESIGNED				DATE			



MAIN STREET

ON GROUND CARPARK
REFER TO DRAWING C101 FOR DETAILS

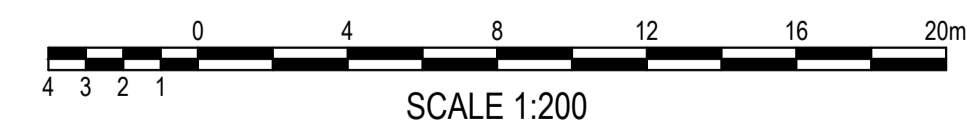
BASEMENT CARPARK
FFL 12.045

PLANT
FFL 12.045

SERVICE ROAD

LEGEND

	EXISTING BOUNDARY		RIDGE		VALLY
	PROPOSED JUNCTION PITS		PROPOSED SURFACE INLET PITS		PROPOSED KERB ONLY
	PROPOSED KERB & GUTTER		PROPOSED RETAINING WALL		PROPOSED GRATED DRAIN
	PROPOSED PIT TAG		PROPOSED 300mm WIDE INTEGRAL KERB		PROPOSED INTERMEDIATE RISER (IR)
	EXISTING STORMWATER PIPE		PROPOSED STORMWATER PIPE		SUBSOIL DRAINAGE

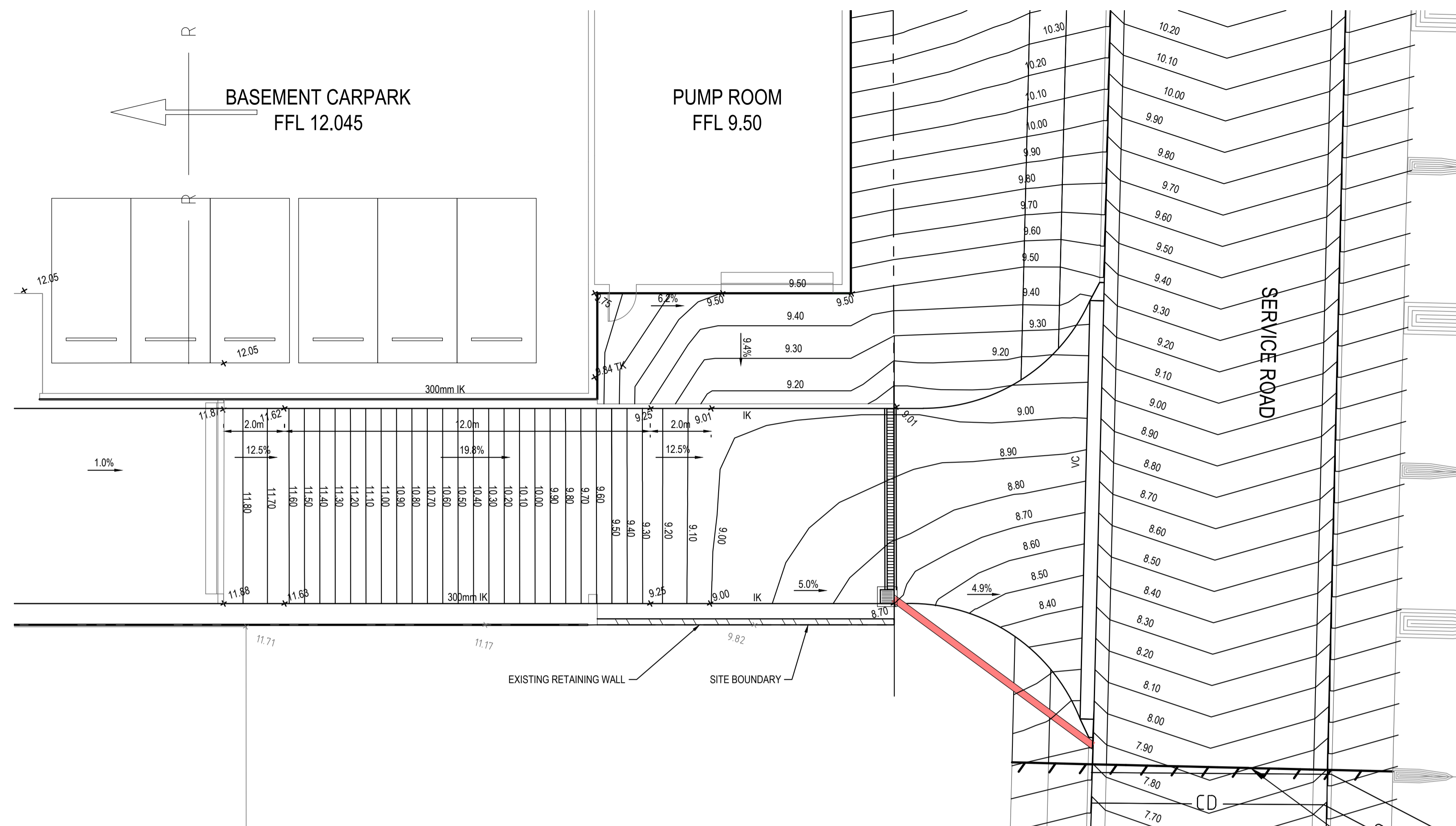


GENERAL ARRANGEMENT PLAN - BASEMENT FLOOR

SCALE 1:200@A1

FOR DA ONLY

SURVEY INFORMATION SURVEYED BY: CADDEY AND JARMAN DATUM: AHD ORIGIN: SSM54787 RL15.92		Client ALDI AUSTRALIA Rothel Lowman		Level 5, 79 Victoria Avenue Chatswood NSW 2067 Telephone +61 2 9417 8400 Facsimile +61 2 9417 8337 Email email@hcnconsult.com.au Web www.henryandhymas.com.au		Project ALDI MERIMBULA 103 MAIN ROAD, MERIMBULA NSW Title GENERAL ARRANGEMENT PLAN BASEMENT FLOOR		Drawn L.Caha	Designed L.Caha	Date Jun 2017
02 RE-ISSUED FOR DA		MC TR X.02.2018				Checked T.Rozehnal		Approved A.Francis	Scale 1:200@A1	Revision
REVISION		AMENDMENT		DRAWN		DESIGNED		DATE		17623_DA_C102
										02



SCALE 1:100@A1

SYMBOLS AND DETAILS

EXISTING BOUNDARY

RIDGE

VALLY

PROPOSED JUNCTION PITS

PROPOSED SURFACE INLET PITS

PROPOSED LINTEL ONGRADE & SAG PITS

PROPOSED PIT TAG

EXISTING STORMWATER PIPE

PROPOSED STORMWATER PIPE

SUBSOIL DRAINAGE

EXISTING CONTOURS

DESIGN CONTOURS

PROPOSED DOWNPIPE

PROPOSED TOP OF THE KERB

EXISTING SPOT LEVEL

PROPOSED SPOT LEVEL

PROPOSED KERB ONLY

PROPOSED LAYBACK

PROPOSED KERB & GUTTER

PROPOSED RETAINING WALL

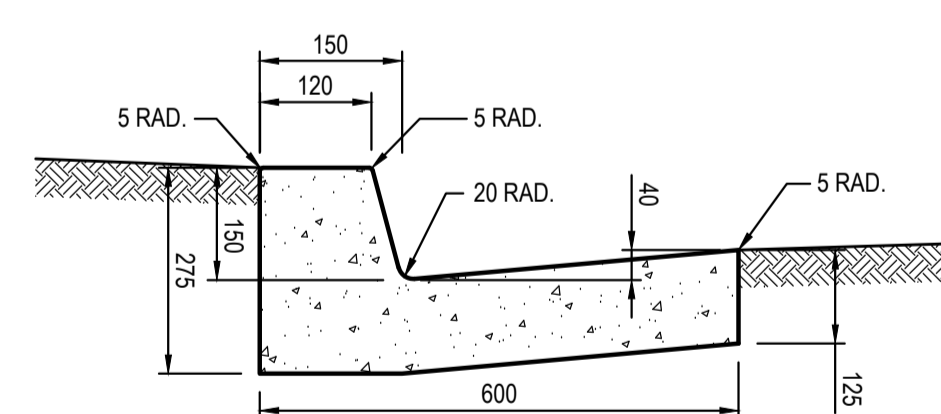
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PROPOSED 300mm WIDE INTEGRAL KERB

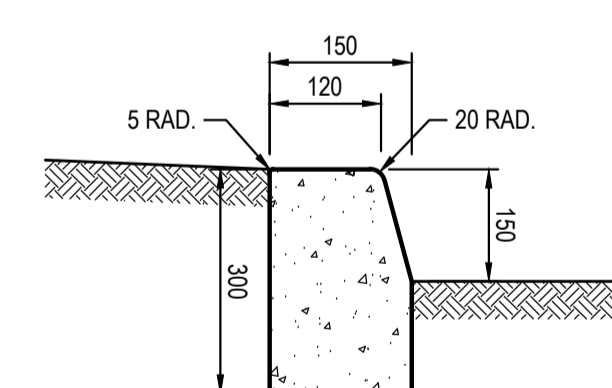
PROPOSED INTERMEDIATE RISER (IR)

PROPOSED FLUSHING POINT (FP)

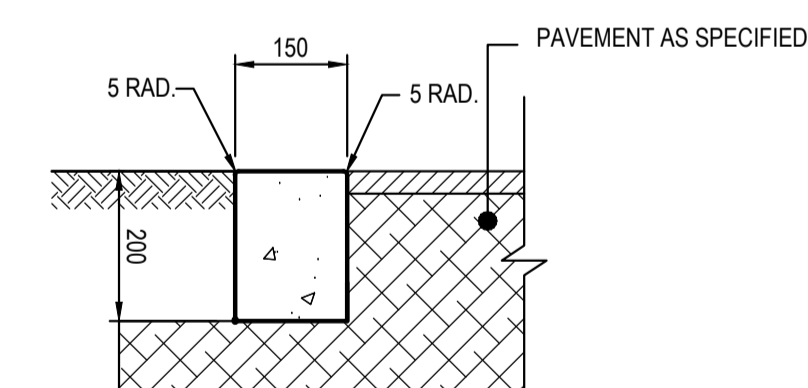
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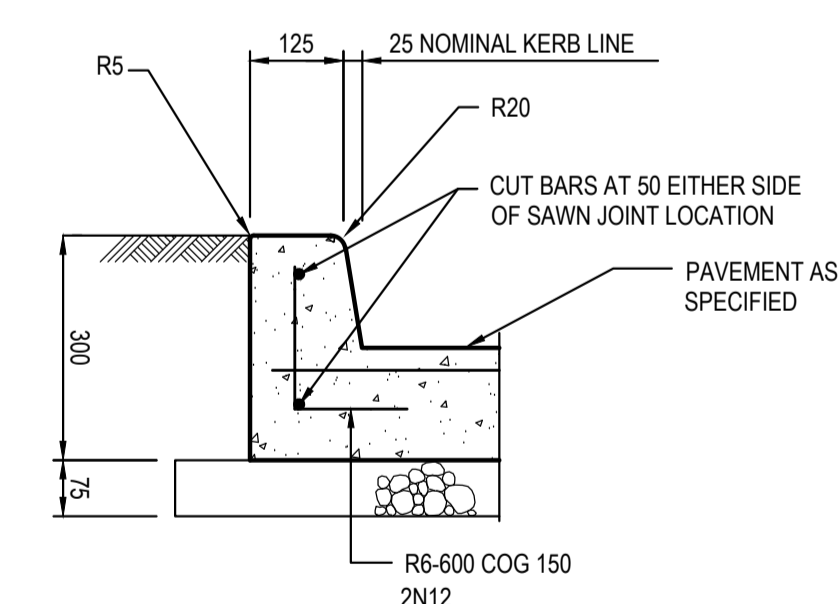
SCALE 1:10



SCALE 1:10




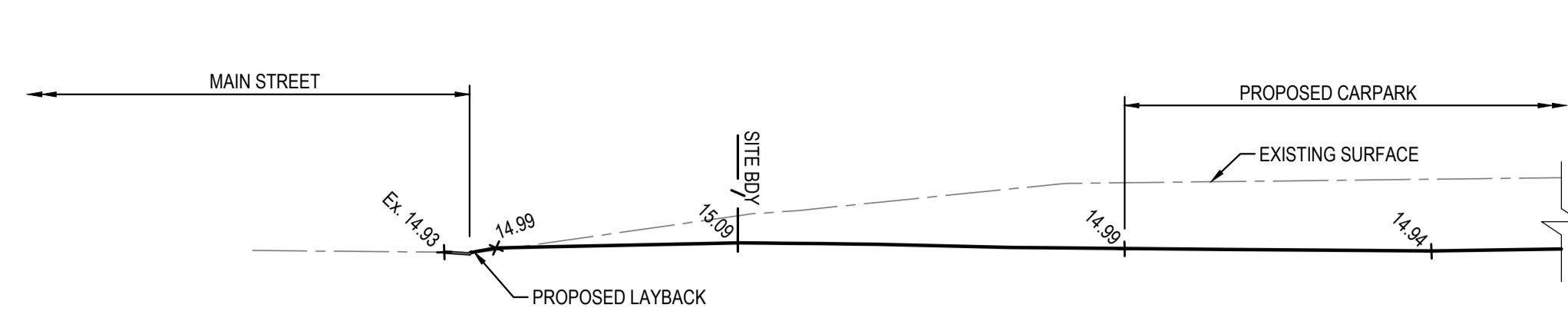
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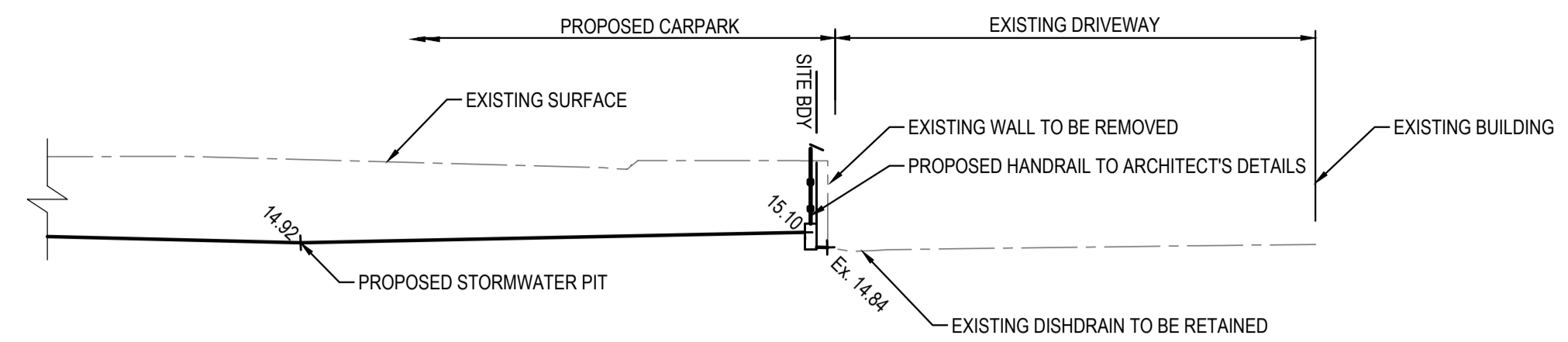
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FOR DA ONLY

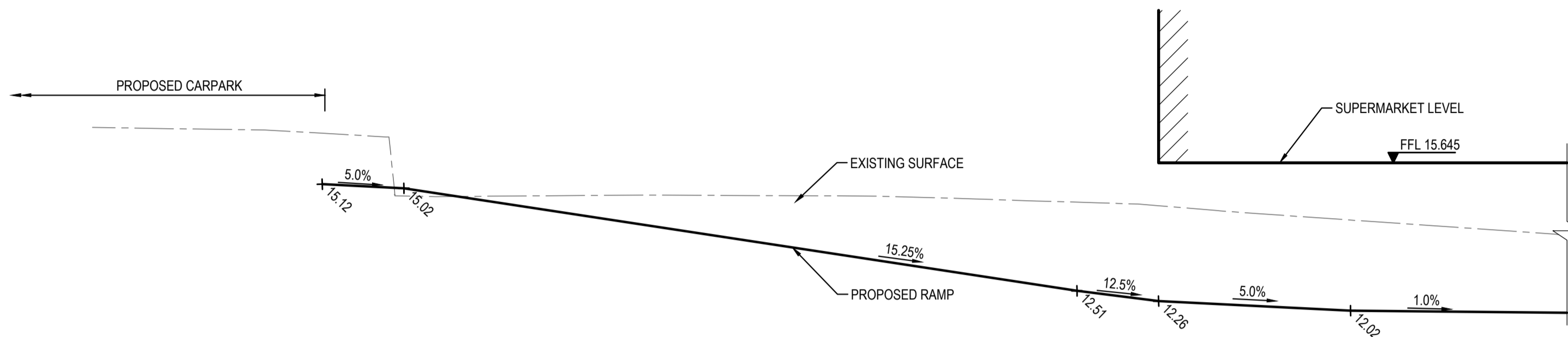
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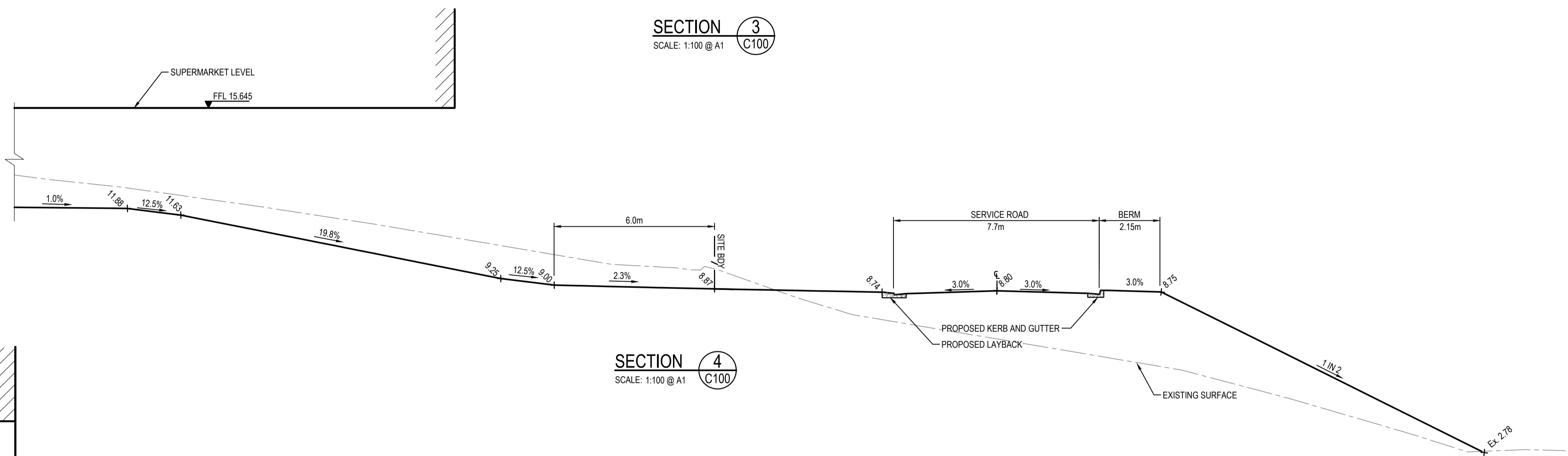
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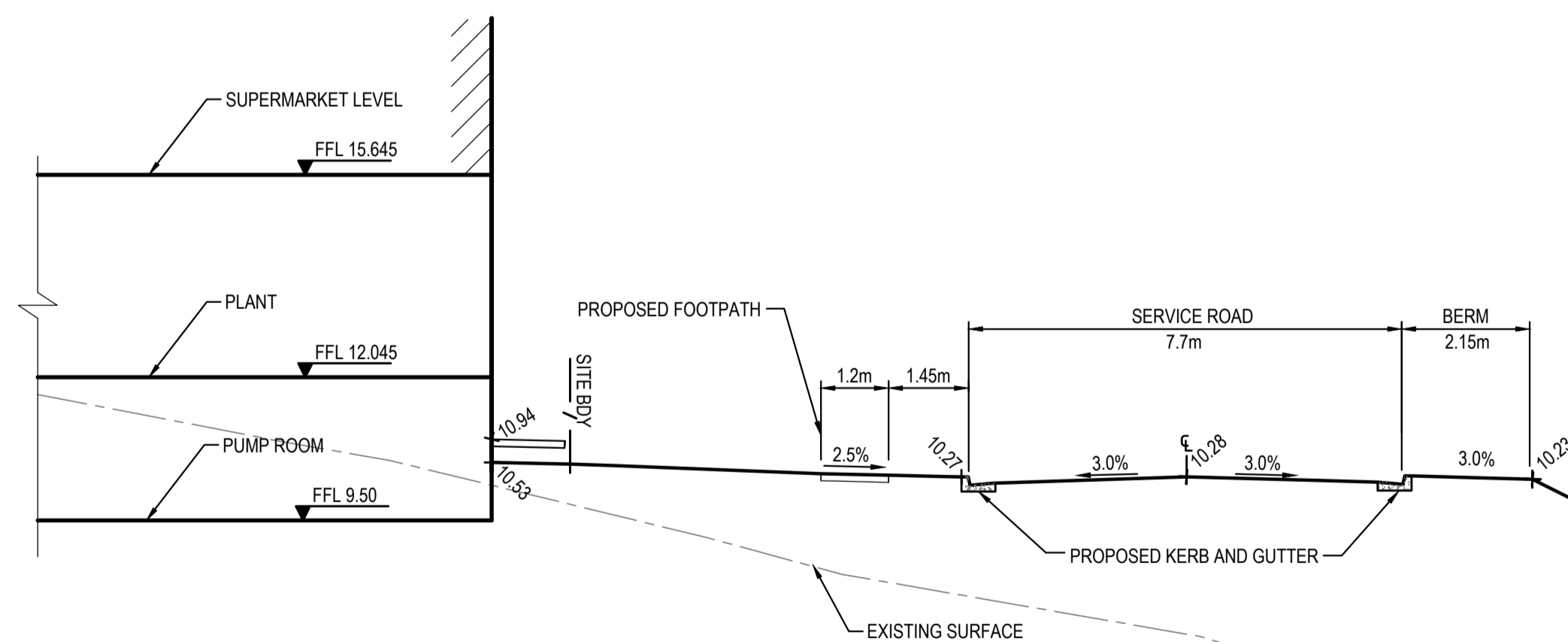
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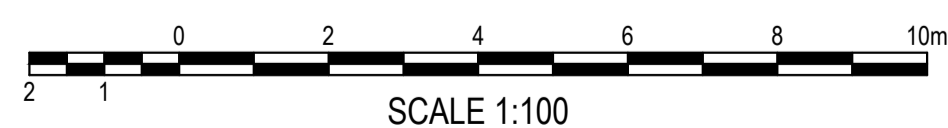
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SECTION 4
SCALE: 1:100 @ A1






SECTION 5
SCALE: 1:100 @ A1



SCALE 1:100

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										Architect		ROTHE LOWMAN					Checked	Approved	Scale				
																	T.Rozehnal	A.Francis	AS SHOWN @ A1				
																		Drawing number		Revision			
																				17623_DA_C110		02	

